

LINCOLN COUNTY CLINIC

4225 US HWY 101, LINCOLN CITY, OR. 97367



PROJECT SUMMARY

NEW CONSTRUCTION OF A 1-STORY, 4,200-SQUARE-FOOT HEALTH AND HUMAN SERVICES CLINIC IN LINCOLN CITY, OREGON. THE CLINIC WILL PROVIDE HEALTH CARE AND HEALTH SERVICES TO LOW-INCOME HOUSEHOLDS AND INDIVIDUALS, PARTICULARLY THOSE WITH MENTAL AND BEHAVIORAL HEALTH NEEDS. THE PROPOSED DEVELOPMENT IS DESIGNED TO ACCOMMODATE MULTIPLE DEPARTMENTS WITHIN A SINGLE HEALTH CARE FACILITY. THE BUILDING WILL FEATURE OFFICE SPACES, EXAM ROOMS, GROUP ROOMS, AND A BREAKROOM/KITCHEN TO SUPPORT FOUR DEPARTMENTS: BEHAVIORAL HEALTH, PRIMARY CARE, WIC (WOMEN, INFANTS, AND CHILDREN), AND PAROLE SERVICES. IN ADDITION, THE FACILITY WILL INCLUDE A WAITING AREA, RECEPTION AREA, AND STORAGE SPACES TO SUPPORT THE OPERATIONS OF ALL PROGRAMS.

SITE INFORMATION

PROJECT ADDRESS: 4225 U.S. HWY 101 LINCOLN CITY, OR 97367
SITE AREA: 20,804 SQ. FT (0.52 ACRES)
CURRENT USAGE: VACANT LOT
TAX LOT NUMBER: 07-11-02-80-01000

PROJECT DIRECTORY

OWNER
 THOMAS KEMPER
 KEMWOOD DEVELOPMENT LLC
 PO BOX 80850 PORTLAND, OR 97280

BRUCE WOOD
 KEMWOOD DEVELOPMENT, LLC
 PO BOX 80850 PORTLAND, OR 97280

CONTRACTOR

ARCHITECT
 OPEN CONCEPT ARCHITECTURE
 CONTACT : JEREMY COGDILL
 208 NW 21ST AVENUE, STE 201
 PORTLAND, OR 97209

STRUCTURAL ENGINEER

CIVIL ENGINEER
 AKANA ENGINEERING CONSULTANTS
 6400 SE LAKE ROAD, SUITE 270
 PORTLAND, OREGON 97222

ZONING INFORMATION

ZONING DESIGNATION: GENERAL COMMERCIAL (GC); PROFESSIONAL AND BUSINESS OFFICES - CLINIC

TRASH/RECYCLING AREA: ONE (1) ENCLOSURE LOCATED ON THE NORTH EAST CORNER OF A SERVICE PARKING ON SITE

PROPOSED HEIGHT: 20' - 1"

BICYCLE PARKING: 2 REQUIRED / SEVEN (7) PROPOSED

PARKING REQUIREMENT:
 34 SPACES PER CODE (1 PER 200 SF + 1 PER EMPLOYEE)
 21 REQUIRED - 10% REDUCTION (BIKE) = 2.1 (2)
 15 EMPLOYEE = 15 REQUIRED
 21 REQUIRED - 2 REDUCTION + 15 = 34 ALLOWED

PROPOSED PARKING:
 SEVENTEEN (17) STANDARD; ONE (1) ADA; ONE (1) VAN SEVENTEEN (17) COMPACT
 PROPOSED THIRTY FOUR (34) TOTAL PARKING SPACES

SHEET INDEX

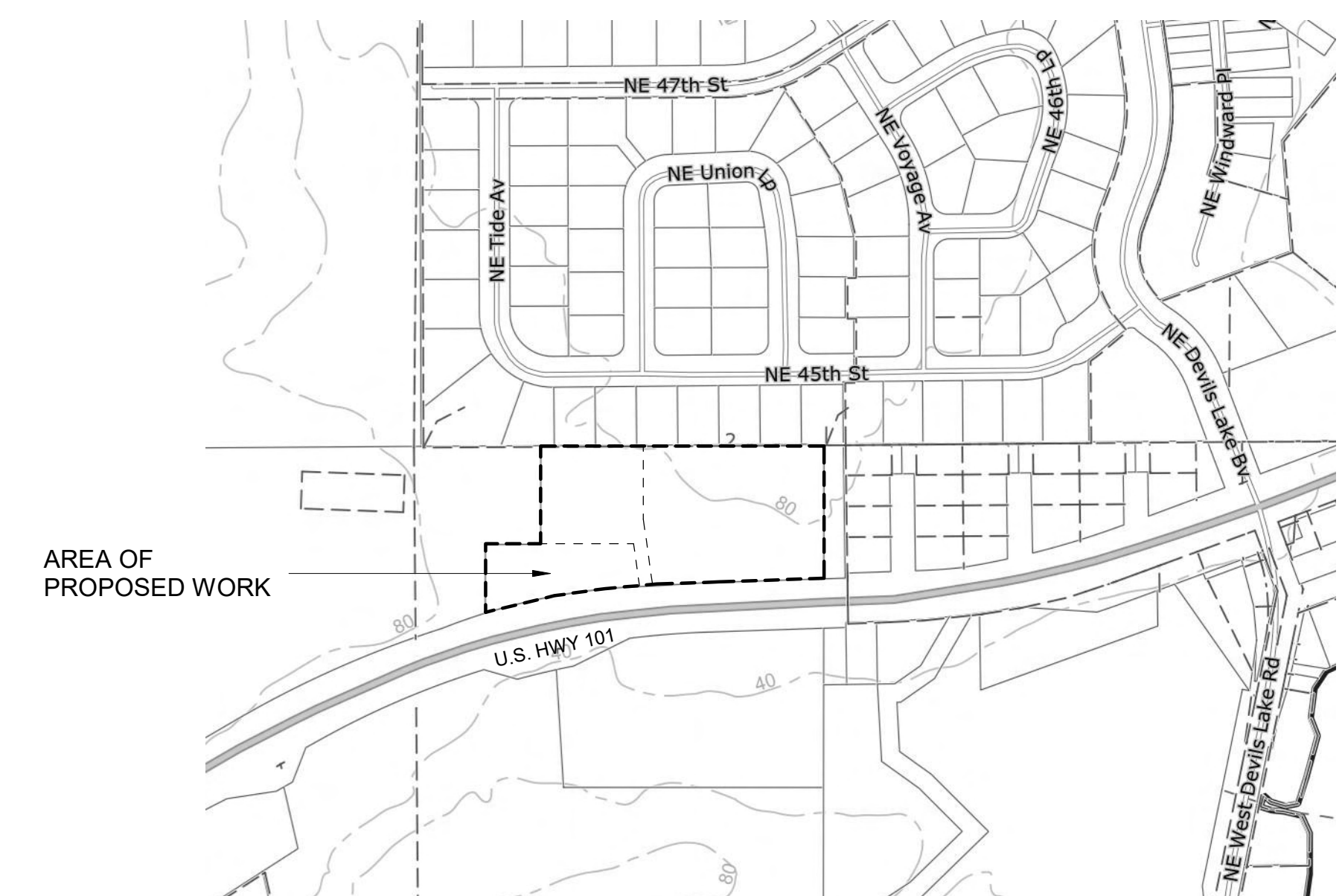
LU00	TITLE SHEET
LU01	OVERALL SITE INFORMATION
LU02	SITE SURVEY - PARTITION PLAT
LU03	SITE SURVEY - PARTITION PLAT
LU04	EXISTING PLAN
LU05	SITE PLAN - PROPOSED
LU06	SITE PLAN - ENLARGED PROPOSED
LU07	EXTERIOR LIGHTING PLAN
LU08	FLOOR PLAN - LEVEL 01
LU09	FLOOR PLAN - ROOF
LU10	ARCHITECTURAL ELEVATIONS
LU11	OFF-STREET PARKING, LOADING, & CIRCULATION PLAN
LU12	PRELIMINARY GRADING PLAN
LU13	PRELIMINARY UTILITY PLAN
LU14	EROSION CONTROL PLAN
LU15	LANDSCAPE PLAN

Grand total: 16

ATTACHMENTS

1. ZONING MAP
2. WRITTEN PROJECT NARRATIVE
3. GEOTECHNICAL REPORT
4. TRAFFIC IMPACT STUDY (TIS)
5. PARTITION REPORT 2023-03
6. LIGHTING CUT SHEETS
7. PROPERTY'S CLOSING STATEMENT

VICINITY MAP - NTS

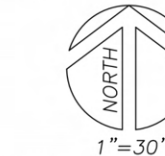


TENTATIVE PARTITION PLAT

4225 HIGHWAY 101

A PORTION OF THE NW 1/4 OF SECTION 2,
TOWNSHIP 7 SOUTH, RANGE 11 WEST, W.M.,
LINCOLN CITY, LINCOLN COUNTY, OREGON

PREPARED FOR
KEMWOOD ACQUISITION COMPANY LLC
APRIL 12, 2024



BASIS OF BEARINGS
OREGON STATE PLANE SOUTH ZONE 3602
NAD 83(2011)(EPOCH:2010.0000)
CONVERGE -2.48254444
POINT SCALE 0.99989903
COMBINED FACTOR 0.99989941
GRID COORDINATES IN DRAWING

VERTICAL DATUM
NAVD88 (COMPUTED USING GEOID18)

LEGEND

- FOUND LOT CORNER
- ⊙ SEWER MANHOLE
- ⊙ STORM MANHOLE
- ⊙ UTILITY POLE
- GUY WIRE
- ⊙ ELECTRIC METER
- ⊙ WATER METER
- DP—DP— OVERHEAD POWER LINE
- SS—SS— UNDERGROUND SEWER LINE
- SS—SS— UNDERGROUND STORM LINE
- V—V— UNDERGROUND WATER LINE

LEGAL DESCRIPTION

BEGINNING AT THE NORTHEAST CORNER OF GOVERNMENT LOT 11, IN SECTION 2, TOWNSHIP 7 SOUTH, RANGE 11 WEST, WILLAMETTE MERIDIAN, LINCOLN COUNTY, OREGON; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT 11, A DISTANCE OF 230 FEET, MORE OR LESS, TO THE NORTHERLY RIGHT OF WAY LINE OF U.S. HIGHWAY 101; THENCE WESTERLY ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 550 FEET; THENCE NORTH AND PARALLEL TO THE EAST LINE OF SAID LOT 11 A DISTANCE OF 100 FEET; THENCE AT RIGHT ANGLES, EAST A DISTANCE OF 90 FEET; THENCE NORTH PARALLEL TO THE EAST LINE OF SAID LOT 11, A DISTANCE OF 160 FEET TO THE NORTH LINE OF SAID LOT 11; THENCE EAST ALONG THE NORTH LINE OF SAID LOT 11, A DISTANCE OF 460 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, ALL BEING SITUATED IN THE COUNTY OF LINCOLN, STATE OF OREGON.

TOTAL LAND AREA IS 114,662 SQUARE FEET (2.632 ACRES).

EXISTING EASEMENTS

THE FOLLOWING EASEMENTS ARE LISTED IN WESTERN TITLE AND ESCROW, ORDER WTO246131 DATED AS OF JULY 10, 2023:

A EXISTING SANITARY SEWER EASEMENT TO THE CITY OF LINCOLN CITY, RECORDED OCTOBER 12, 1981 IN BOOK 127, PAGE 2259 AND DEPICTED HEREON.

PROPOSED EASEMENTS

PROPOSED ACCESS EASEMENTS ARE AS DEPICTED HEREON. PROPOSED EASEMENTS FOR WATER AND SEWER CONNECTIONS TO BE RECIPROCAL, BLANKET IN NATURE, OVER THE FUTURE DESIGNED AND AS-CONSTRUCTED STRUCTURES.

OWNERS

RIEDEL-KAUFFMAN FAMILY TRUST DATED 12/2/2003
PO BOX 13
OTIS, OREGON 97368

ADDRESS

4225 HIGHWAY 101, LINCOLN CITY, OREGON 97367

MAP AND TAX LOT NUMBER
07-11-02-B0-01000

LAND AREA

114,662 SQUARE FEET (2.632 ACRES).

FLOOD ZONE DESIGNATION

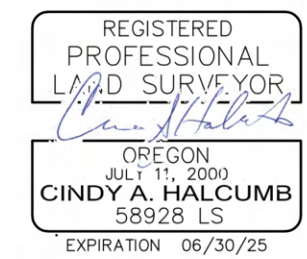
THE LOT SURVEYED HEREON IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE OF THE FLOOD HAZARD AREA PURSUANT TO THAT FEMA MAP KNOWN AS 4104100107E, LAST UPDATED OCTOBER 18, 2019.

DEED REFERENCE

RIEDEL-KAUFFMAN FAMILY TRUST
DOCUMENT NUMBER 2022-03750

ZONING

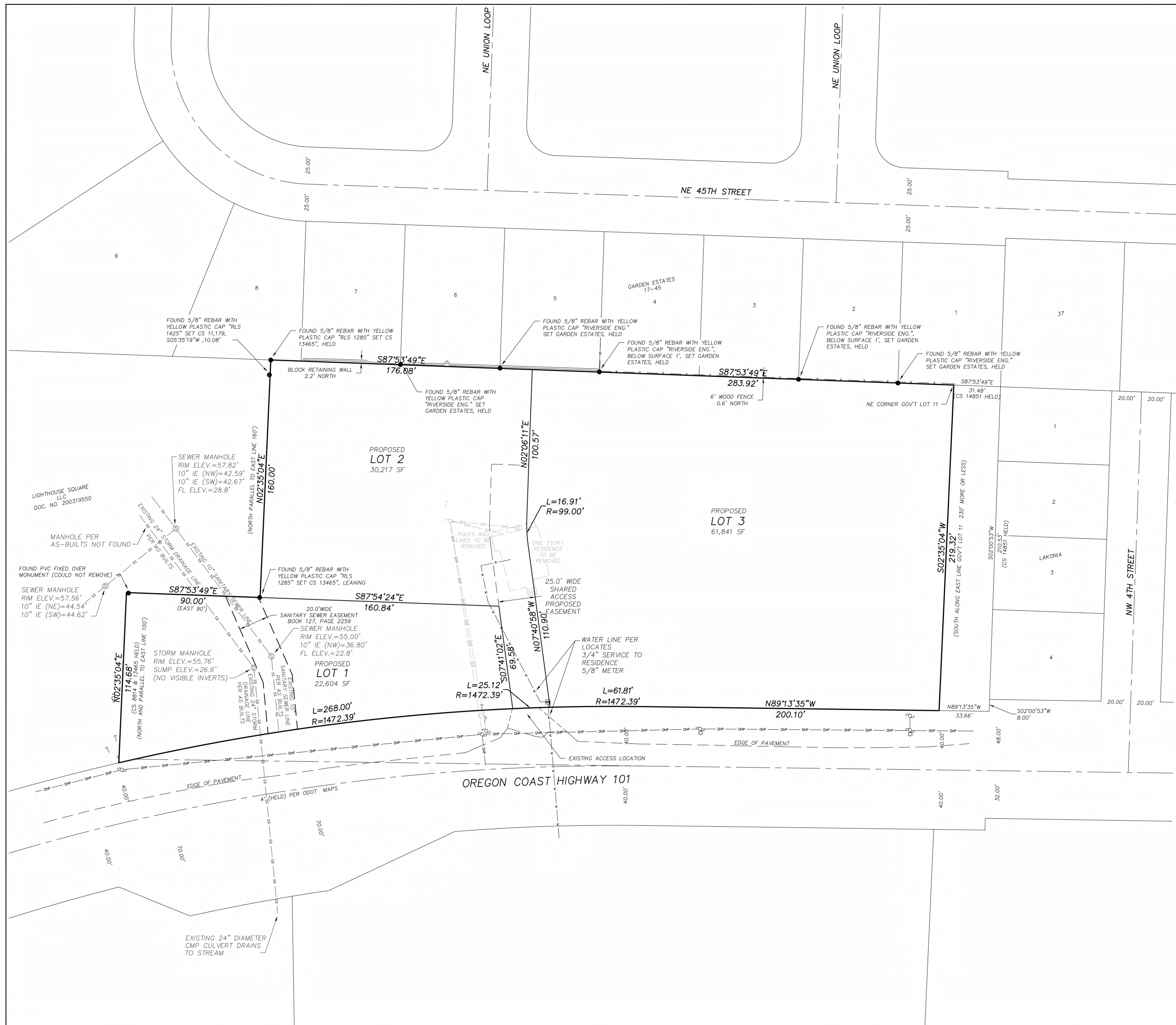
THE SUBJECT LOT IS ZONED "G-C" - GENERAL COMMERCIAL.



JOB NO.
1293.23

SHEET NO.
1

OF
1



SURVEY REFERENCE



LINCOLN COUNTY CLINIC

4225 Highway 101, Lincoln City, Oregon
04/18/25



LU02

SITE SURVEY -
PARTITION PLAT

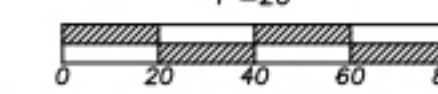
PARTITION PLAT NO. _____

A PORTION OF GOVERNMENT LOT 11,
SITUATED IN THE NW 1/4 OF SECTION 2,
TOWNSHIP 7 SOUTH, RANGE 11 WEST, W.M.,
LINCOLN CITY, LINCOLN COUNTY, OREGON

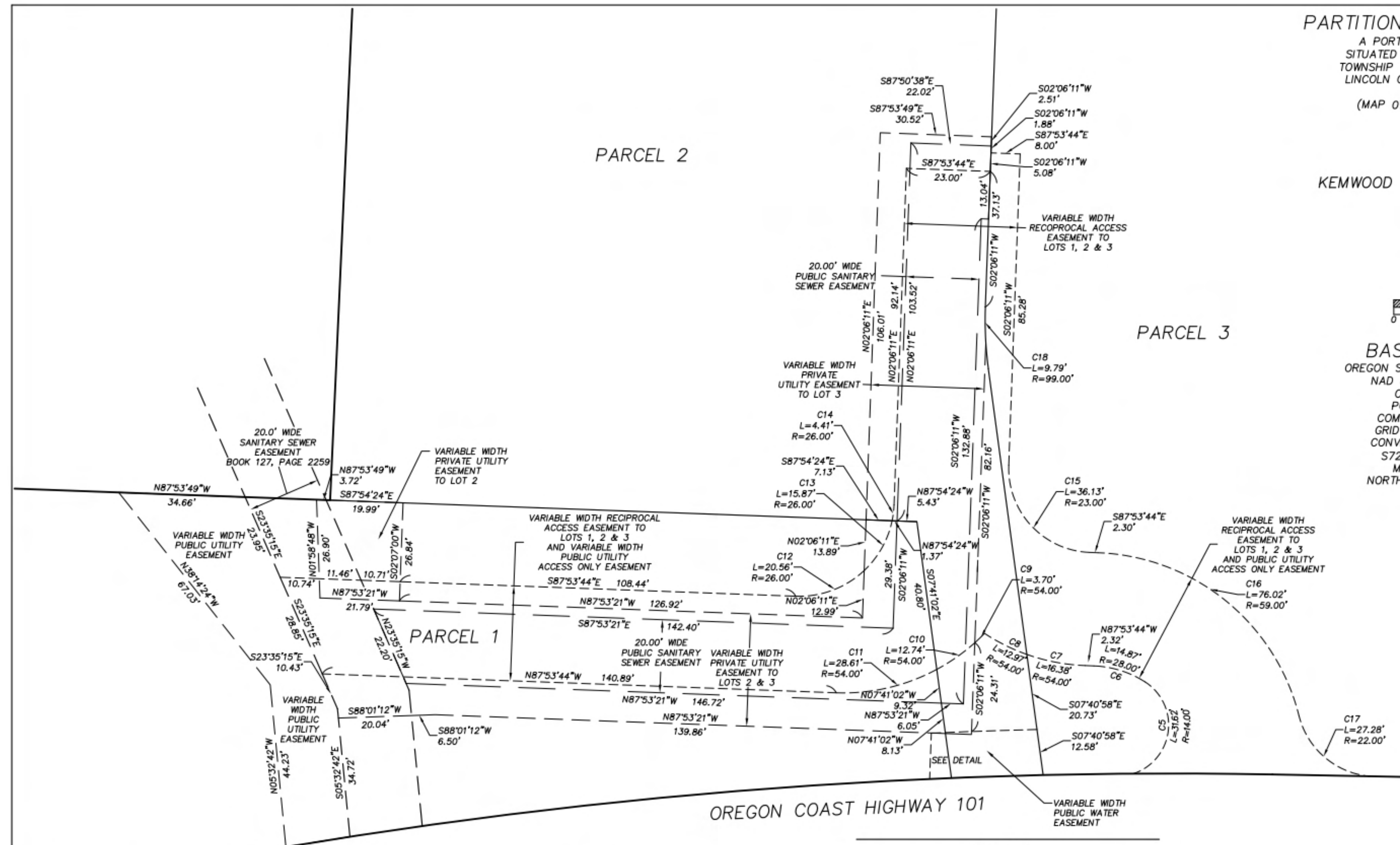
(MAP 07-11-02-BO, TAX LOT 1000)

SHEET 2 OF 3

PREPARED FOR
KEMWOOD ACQUISITION COMPANY LLC
FEBRUARY 24, 2025

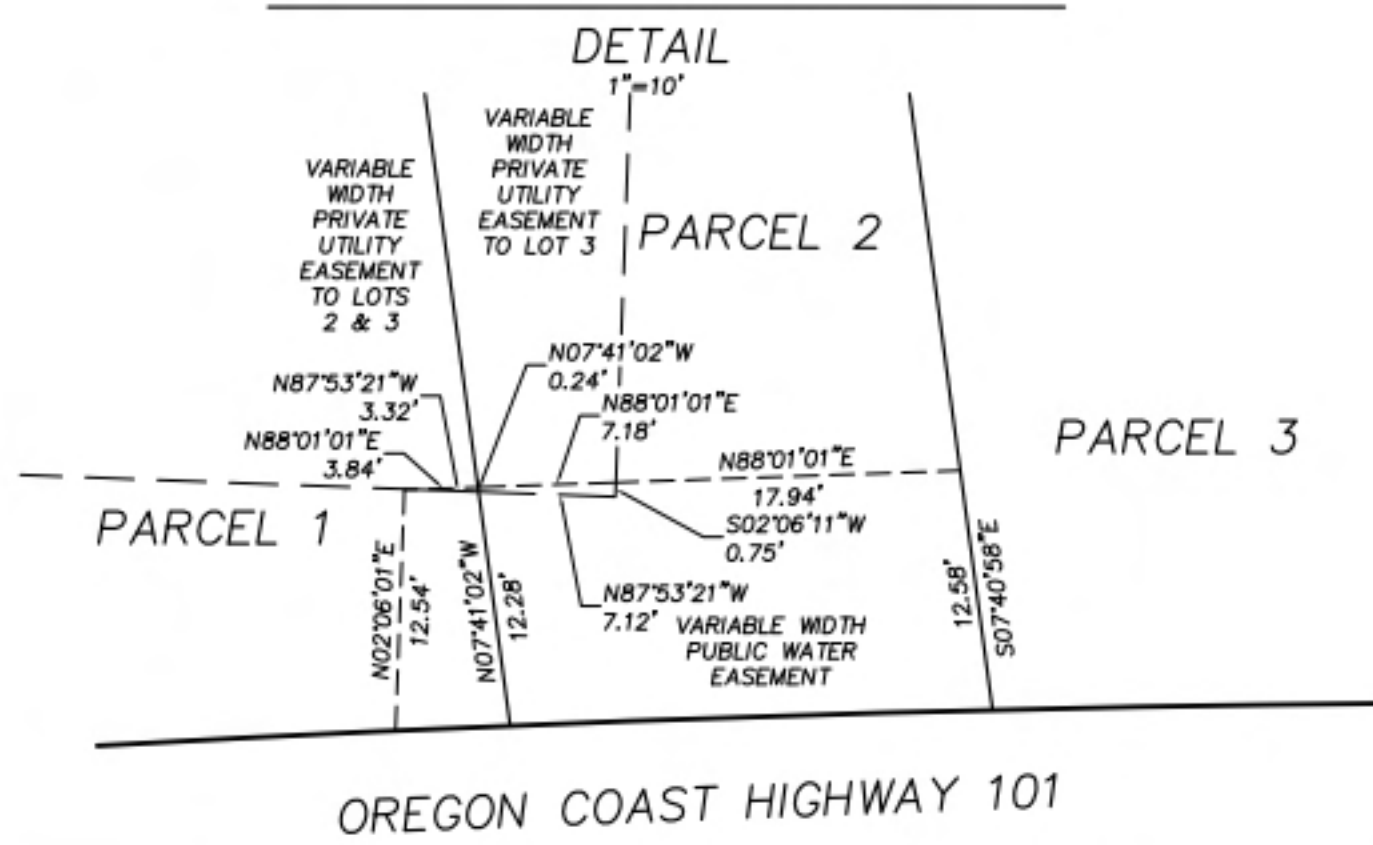


BASIS OF BEARINGS
OREGON STATE PLANE NORTH ZONE 3602
NAD 83(2011)(EPOCH: 2010.0000)
CONVERGE -2.48254444
POINT SCALE 0.99989903
COMBINED FACTOR 0.99989941
GRID COORDINATES IN DRAWING
CONVERGENCE REFERENCE POINT
S72°13'39"E, 8.76' FROM THE
NORTHEAST CORNER OF PARCEL 1



CURVE DATA TABLE - EASEMENTS

NUMBER	LENGTH	RADIUS	DELTA	CHORD BEARING	DISTANCE
C5	31.62'	14.00'	129°23'34"	N07°13'23"E	25.31'
C6	14.87'	28.00'	030°25'20"	N72°41'04"W	14.69'
C7	16.38'	54.00'	017°22'45"	S79°12'22"E	16.32'
C8	12.97'	54.00'	013°45'39"	S63°38'09"E	12.94'
C9	3.70'	54.00'	003°55'20"	N46°16'06"E	3.70'
C10	12.74'	54.00'	013°30'56"	N54°59'14"E	12.71'
C11	28.61'	54.00'	030°21'33"	N76°55'29"E	28.28'
C12	20.56'	26.00'	045°18'37"	N69°26'58"E	20.03'
C13	15.87'	26.00'	034°57'55"	N29°18'42"E	15.62'
C14	4.41'	26.00'	009°43'33"	N06°57'58"E	4.41'
C15	36.13'	23.00'	089°59'55"	S42°53'46"E	32.53'
C16	76.02'	59.00'	073°49'29"	N50°59'00"W	70.87'
C17	27.28'	22.00'	071°02'13"	S49°35'22"E	25.56'
C18	9.79'	99.00'	005°39'54"	S00°43'46"E	9.78'



REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JULY 11, 2000
CINDY A. HALCUMB
58928 LS
EXPIRATION 06/30/25

PREPARED BY:

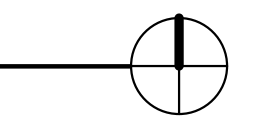
KCD DEVELOPMENT
-A CERTIFIED DBE & WBE
PO BOX 398
Camas, WA 98607
360.834.2519
WWW.KCDEVELOPMENT.NET
JOB NO. 1293.24

SURVEY REFERENCE



LINCOLN COUNTY CLINIC

4225 Highway 101, Lincoln City, Oregon
04/18/25



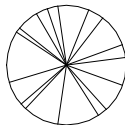
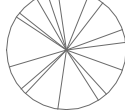
LU03

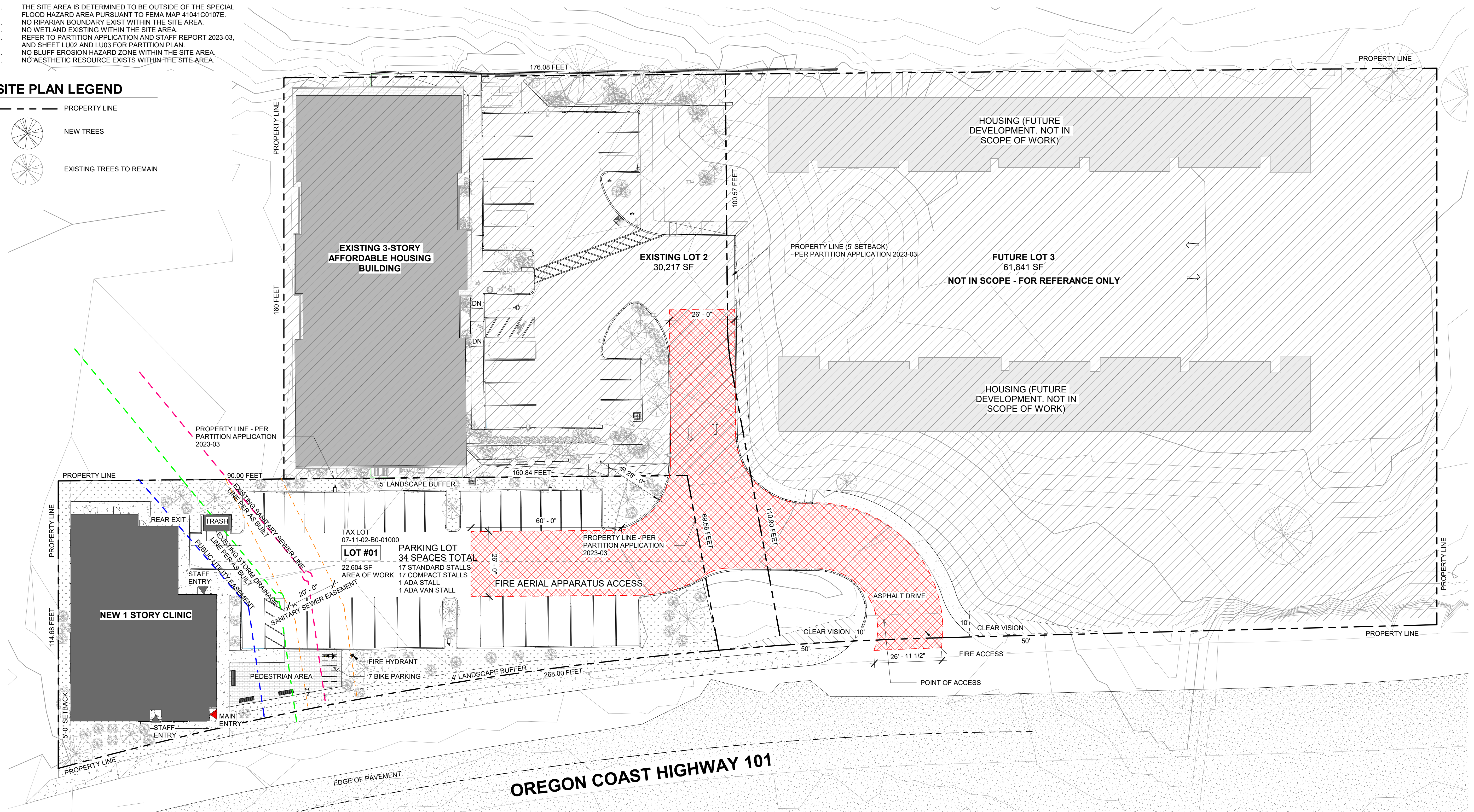
SITE SURVEY -
PARTITION PLAT

SITE PLAN NOTES

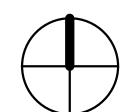
1. THE SITE AREA IS DETERMINED TO BE OUTSIDE OF THE SPECIAL FLOOD HAZARD AREA PURSUANT TO FEMA MAP 41041C0107E.
2. NO RIPARIAN BOUNDARY EXIST WITHIN THE SITE AREA.
3. NO WETLAND EXISTING WITHIN THE SITE AREA.
4. REFER TO PARTITION APPLICATION AND STAFF REPORT 2023-03, AND SHEET LU02 AND LU03 FOR PARTITION PLAN.
5. NO BLUFF EROSION HAZARD ZONE WITHIN THE SITE AREA.
6. NO AESTHETIC RESOURCE EXISTS WITHIN THE SITE AREA.

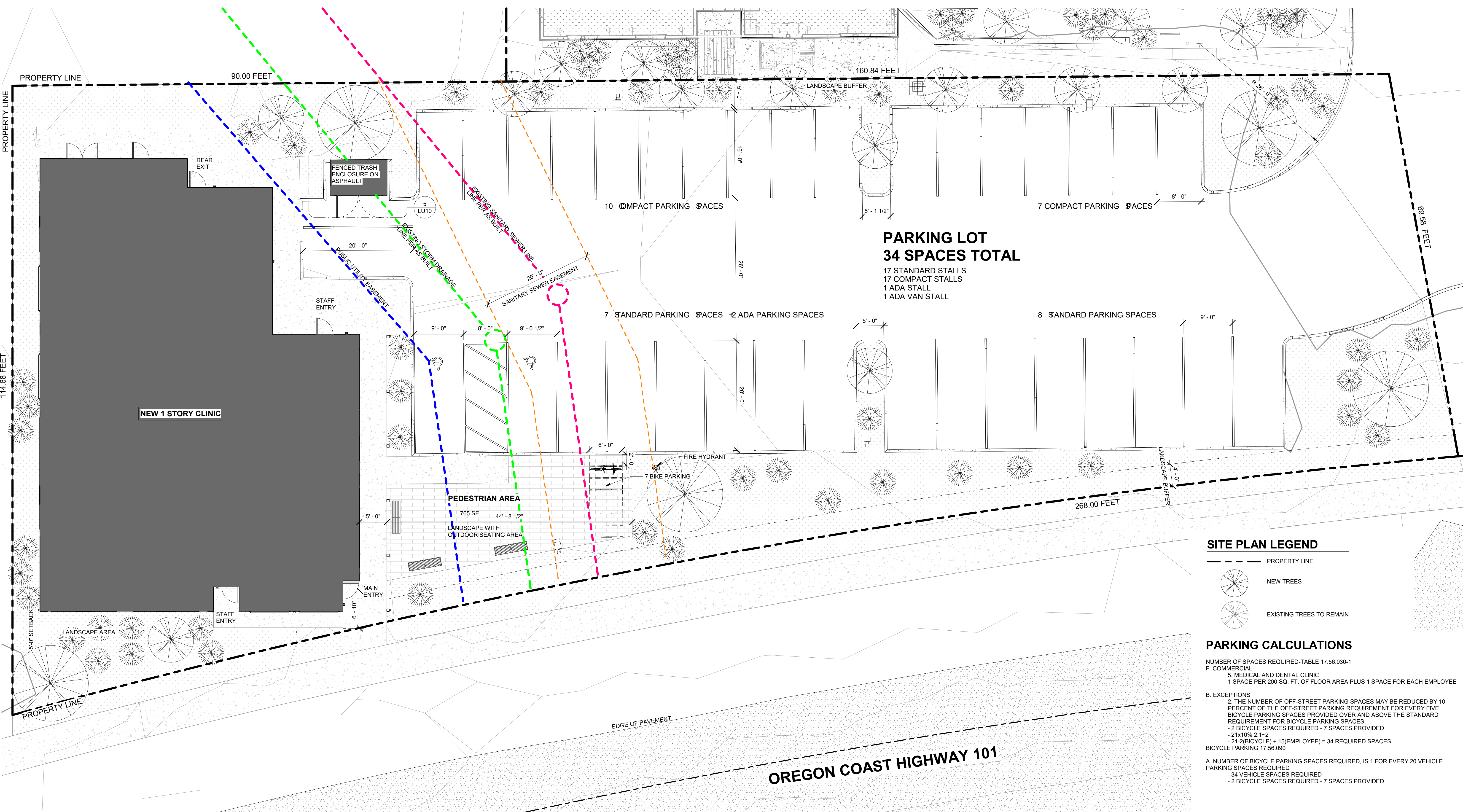
SITE PLAN LEGEND

- PROPERTY LINE
-  NEW TREES
-  EXISTING TREES TO REMAIN



1 SITE PLAN - OVERALL
1" = 20'-0"





**PARKING LOT
34 SPACES TOTAL**
 17 STANDARD STALLS
 17 COMPACT STALLS
 1 ADA STALL
 1 ADA VAN STALL

SITE PLAN LEGEND

- PROPERTY LINE
- NEW TREES
- EXISTING TREES TO REMAIN

PARKING CALCULATIONS

NUMBER OF SPACES REQUIRED-TABLE 17.56.030-1
 F. COMMERCIAL
 5. MEDICAL AND DENTAL CLINIC
 1 SPACE PER 200 SQ. FT. OF FLOOR AREA PLUS 1 SPACE FOR EACH EMPLOYEE

B. EXCEPTIONS
 2. THE NUMBER OF OFF-STREET PARKING SPACES MAY BE REDUCED BY 10 PERCENT OF THE OFF-STREET PARKING REQUIREMENT FOR EVERY FIVE BICYCLE PARKING SPACES PROVIDED OVER AND ABOVE THE STANDARD REQUIREMENT FOR BICYCLE PARKING SPACES.
 - 2 BICYCLE SPACES REQUIRED - 7 SPACES PROVIDED
 - 21x10% 2.1-2
 - 21-2(BICYCLE) + 15(EMPLOYEE) = 34 REQUIRED SPACES
 BICYCLE PARKING 17.56.090

A. NUMBER OF BICYCLE PARKING SPACES REQUIRED, IS 1 FOR EVERY 20 VEHICLE PARKING SPACES REQUIRED
 - 34 VEHICLE SPACES REQUIRED
 - 2 BICYCLE SPACES REQUIRED - 7 SPACES PROVIDED

1 SITE PLAN
 1/8" = 1'-0"

SITE LIGHTING PLAN LEGEND

- LE1 LIGHTING - TALL LAMP POST
- ▼ LE2 LIGHTING - WALL SCONCE
- LE3 LIGHTING - DOWN LIGHT
- LE4 LIGHTING - SHORT BOLLARD

NOTE: LOCATION AND COUNT ARE APPROXIMATE. LIGHTING TYPES SHOWN IN A GENERAL MANNER FOR DESIGN INTENT.



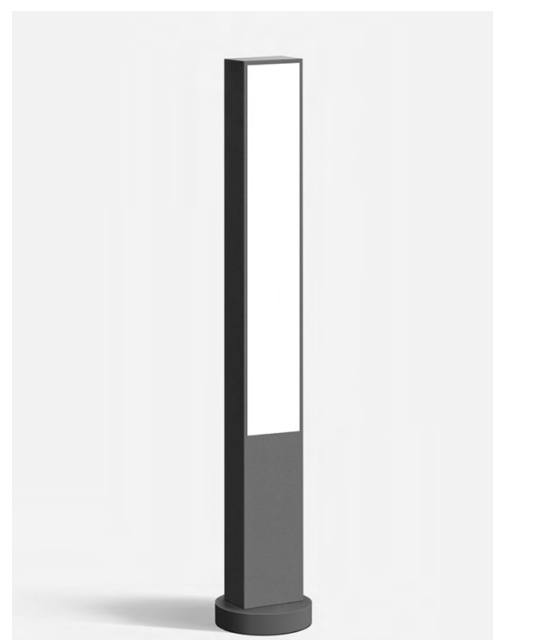
SITE LIGHTING - TALL LAMP POST
 MANUFACTURER: LITHONIA
 COLLECTION: DSX0
 COLOR: BLACK



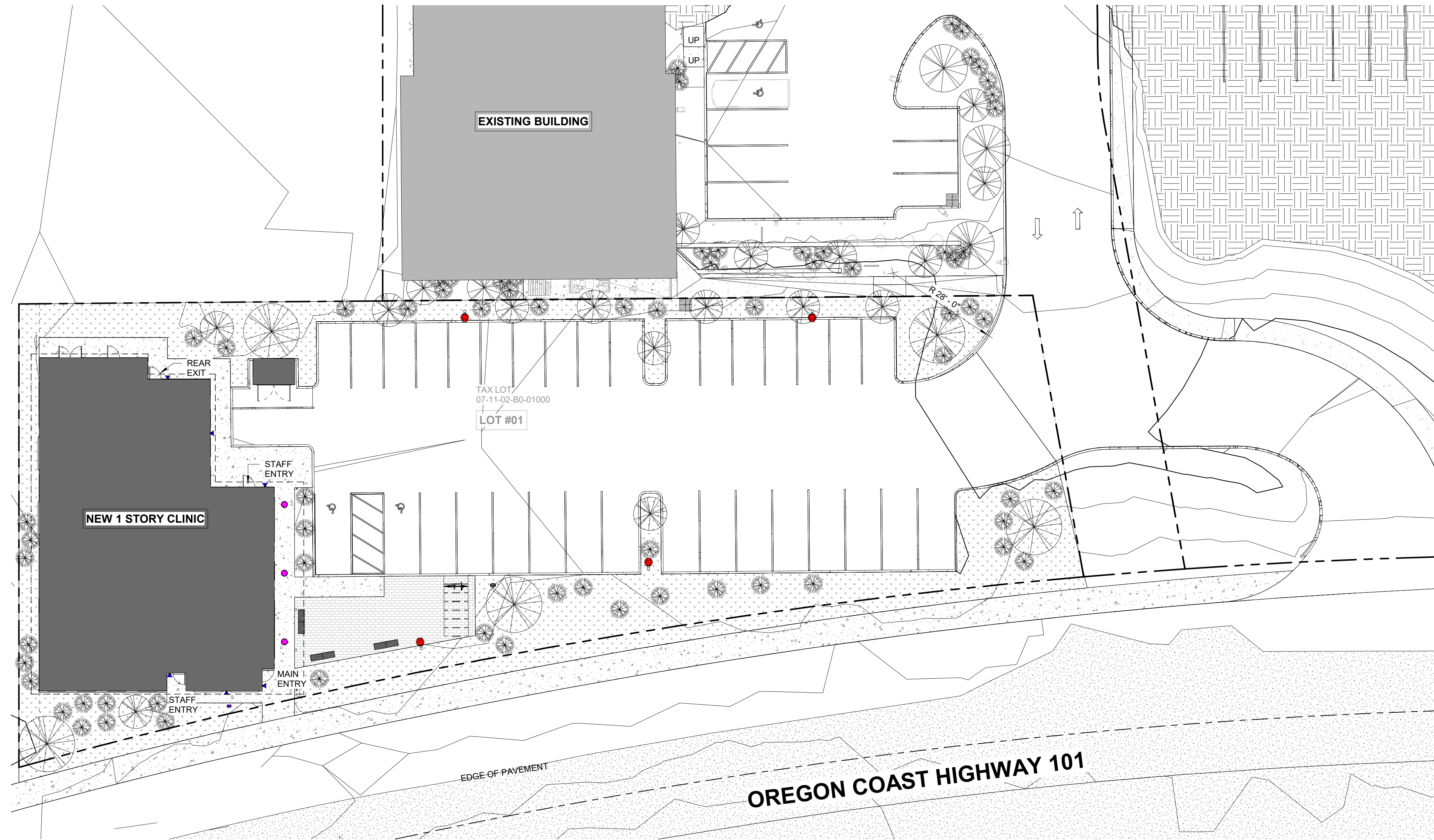
ENTRY LIGHTING - WALL SCONCE
 MANUFACTURER: EUREKA
 COLLECTION: 3419 CLIFF - SINGLE DIRECTION
 COLOR: BLACK



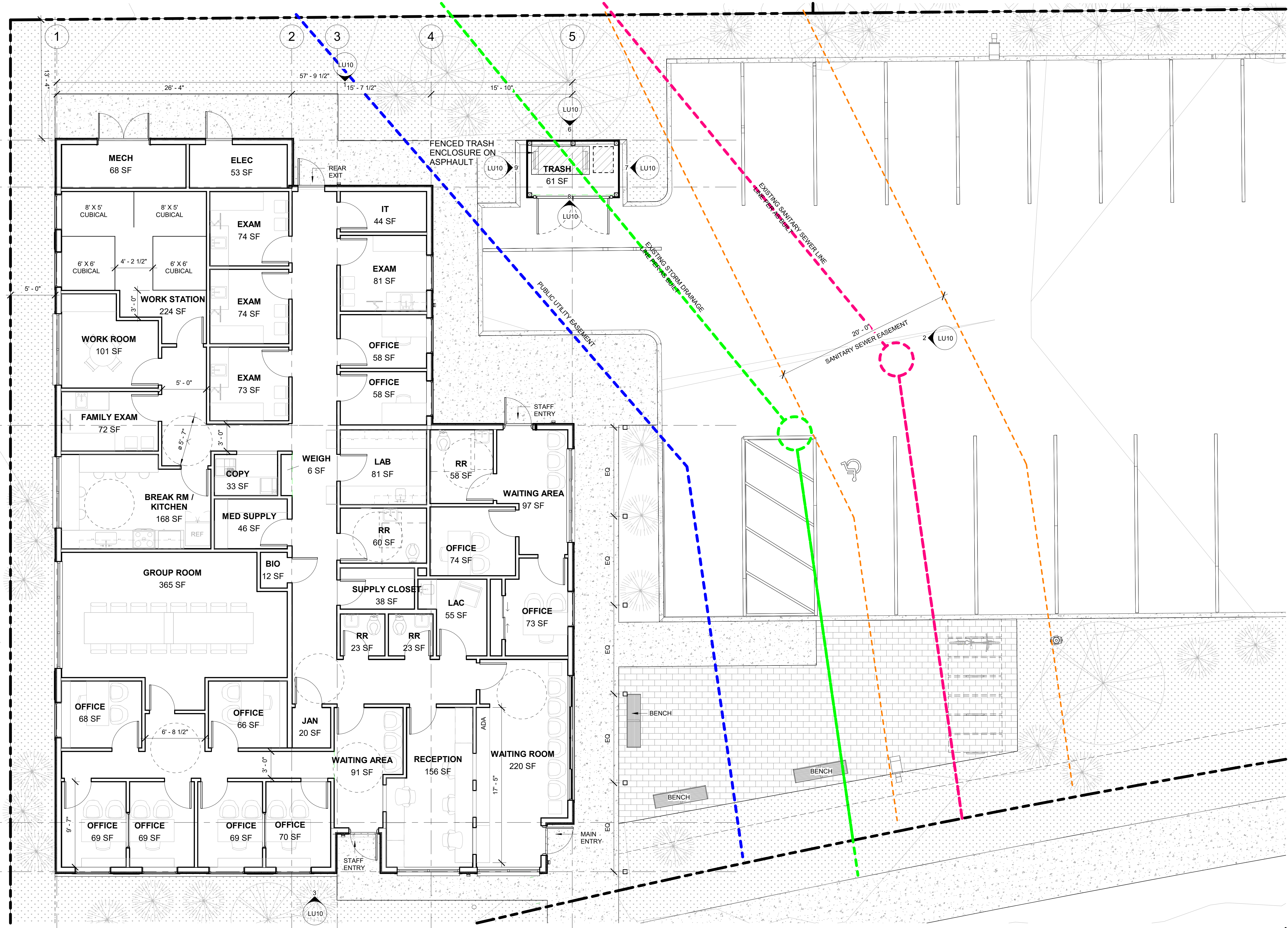
CANOPY LIGHTING - DOWNLIGHT
 MANUFACTURER: ALPHABET
 COLLECTION: NU4
 COLOR: BLACK



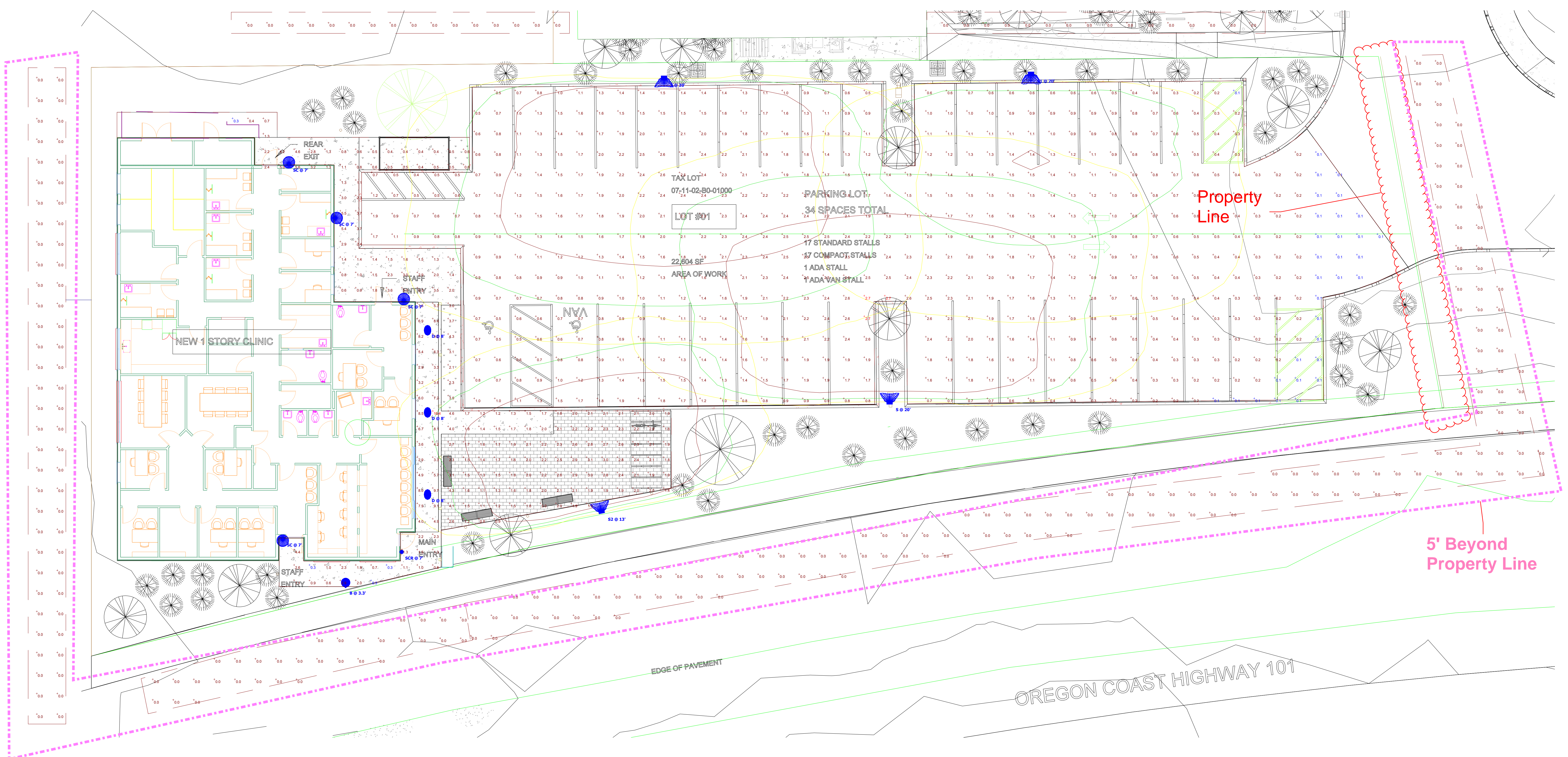
PATH LIGHTING - SHORT BOLLARD
 MANUFACTURER: BEGA
 COLLECTION: 99326
 COLOR: BLACK



① SITE PLAN - OVERALL
 1/16" = 1'-0"



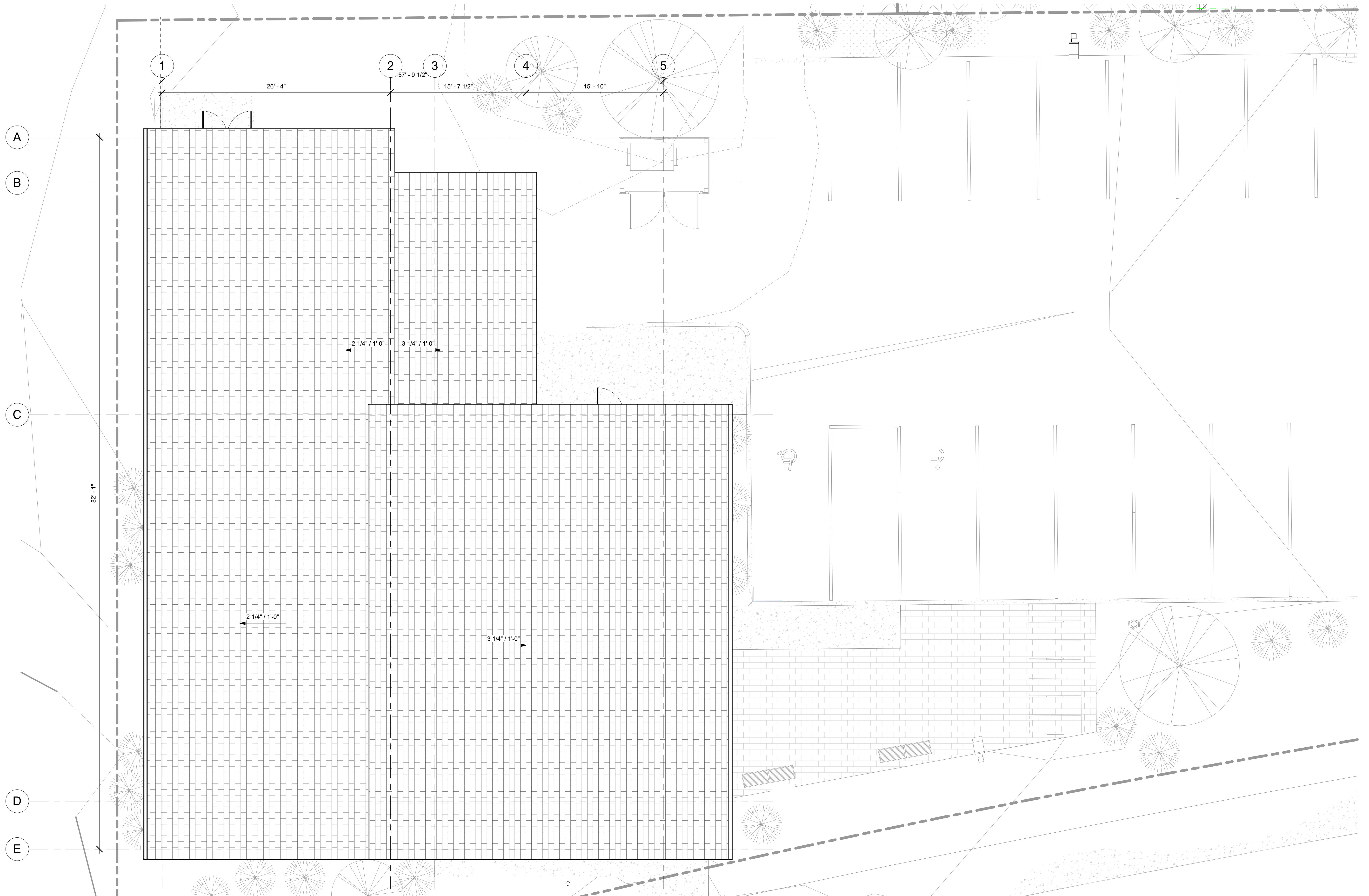
1 FLOOR PLAN - LEVEL 01
3/16" = 1'-0"



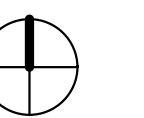
Statistics

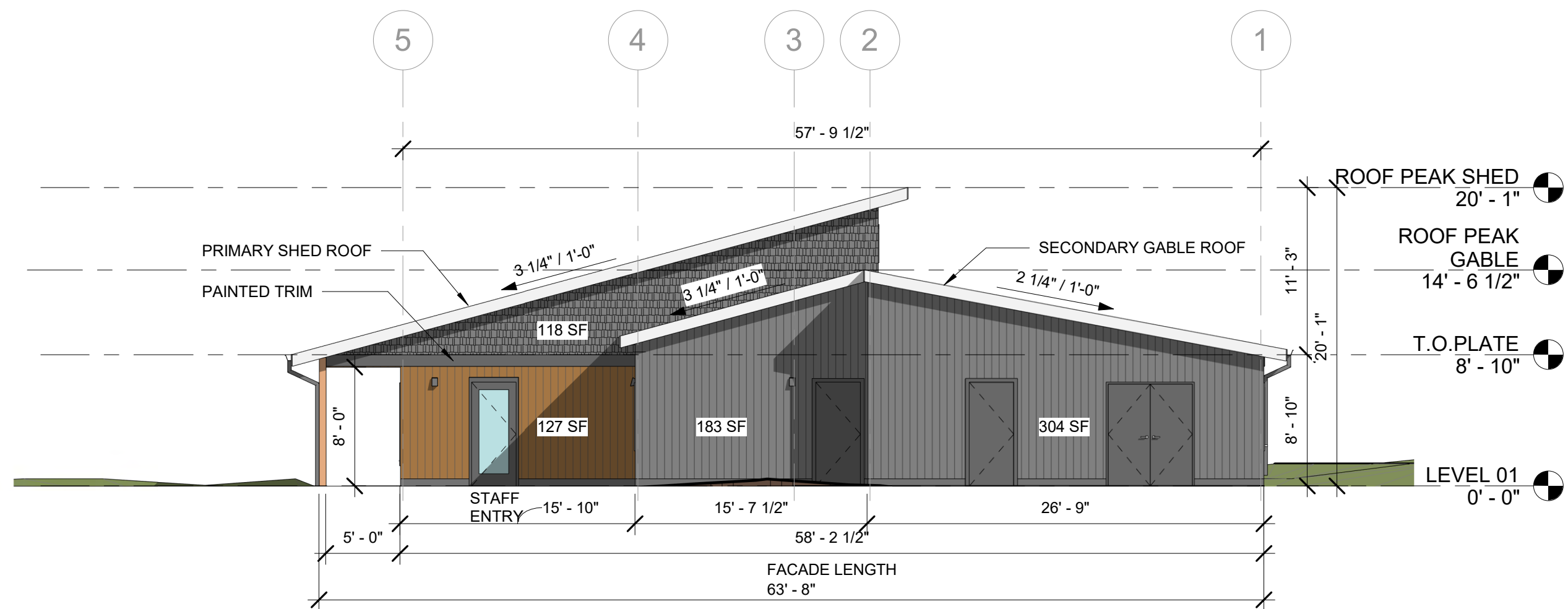
Description	Symbol	Avg	Min
5' Outside East / South Prop. Line	+	0.0 fc	0.0 fc
Clinic Perimeter	+	2.5 fc	0.3 fc
Outside Property Boundry Northside	+	0.0 fc	0.0 fc
Parking Lot	+	1.2 fc	0.1 fc
South Property Line	+	0.0 fc	0.0 fc
WS 5' Outside of Prop Line	+	0.0 fc	0.0 fc

Schedule					
Symbol	Label	QTY	Catalog Number	Description	Lumens per Lamp
○	B	1		99326 / Lumen reduction of 40%	751
○	D	3	NU4-RD-SW-10LM-30K-80-50D-E-WH-WH	4" Round Downlight Standard White 50D, Elliptical Lens	900
□	S	2	DSX0 LED P3 30K 80CRI BLC3	D-Series Size 0 Area Luminaire P3 Performance Package 3000K CCT 80 CRI Type 3 Extreme Backlight Control	5573
□	SC	4	Eureka 3419	3419_REG	104
□	S1	1	DSX0 LED P1 30K 80CRI BLC4 EGS	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Type 4 Extreme Backlight Control External Glare Shield	2885
□	S2	1	DSX0 LED P1 30K 80CRI BLC3	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Type 3 Extreme Backlight Control	3036
□	SCR	1	Eureka 3419	3419_REDUCED OUTPUT BY 70%	104

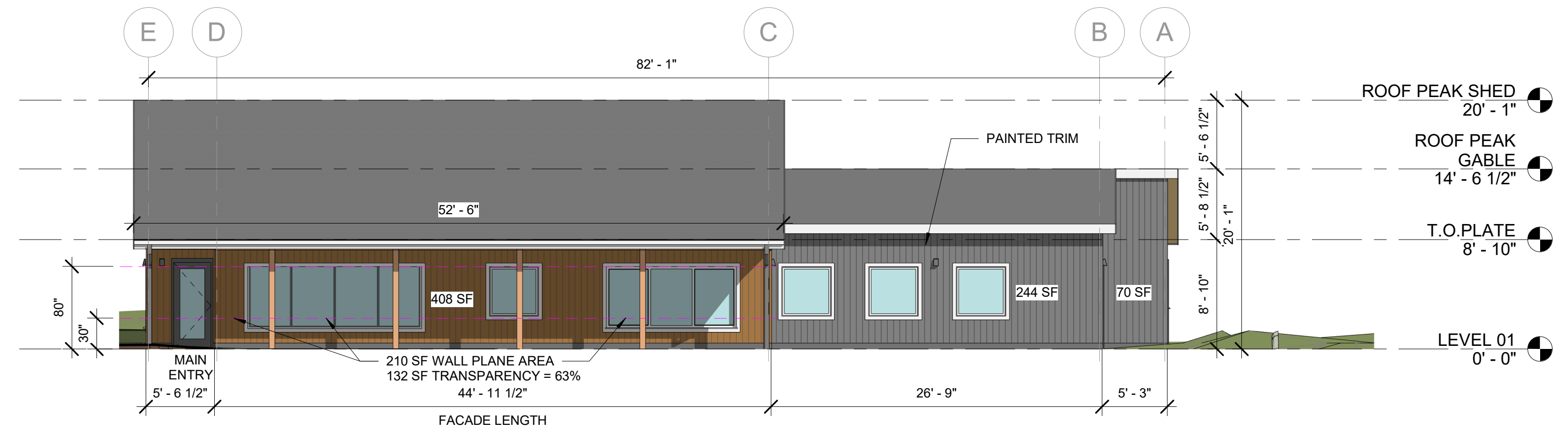


1 ROOF PLAN
3/16" = 1'-0"

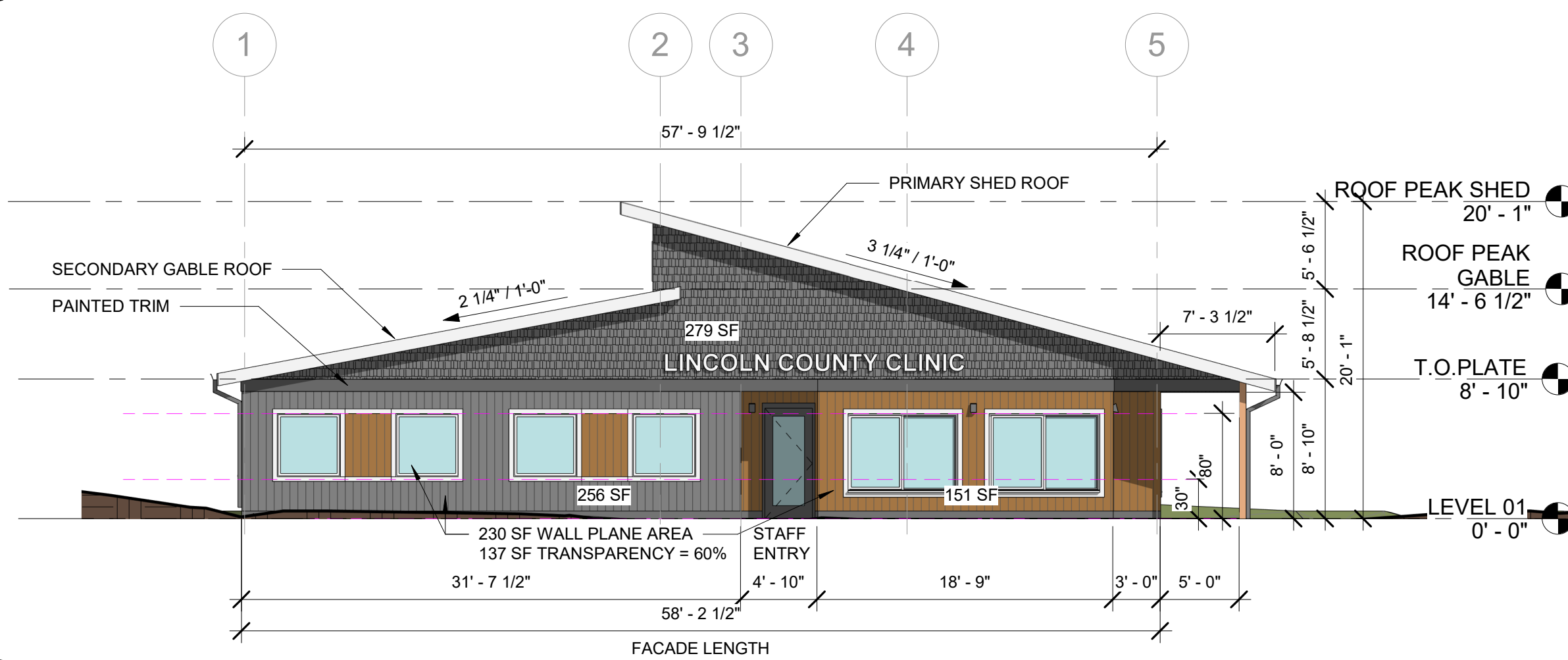




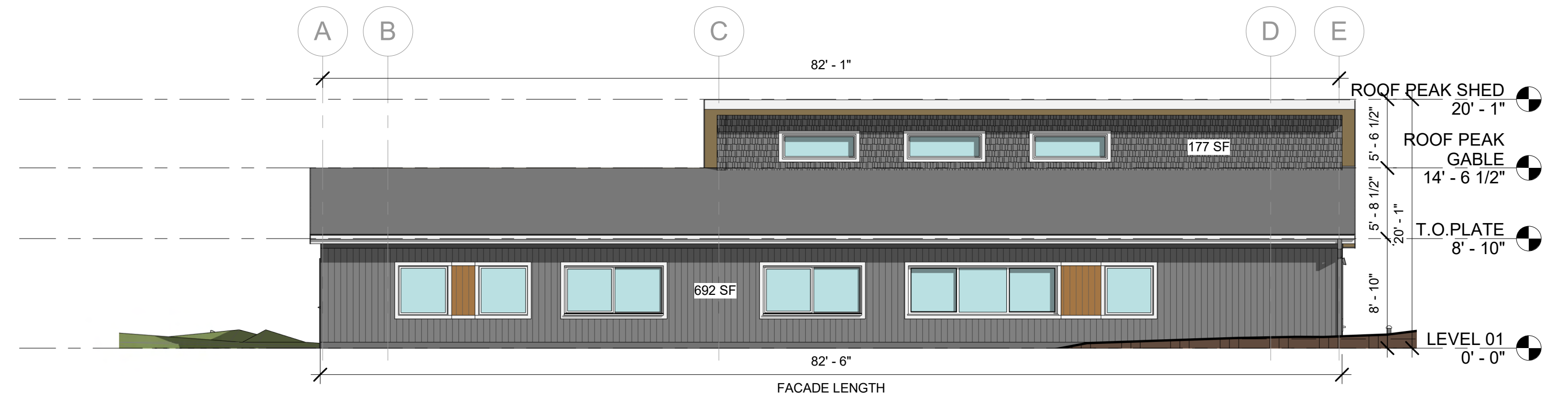
1 EXTERIOR -REAR NORTH ELEVATION
1/8" = 1'-0"



2 EXTERIOR -SIDE EAST ELEVATION
1/8" = 1'-0"



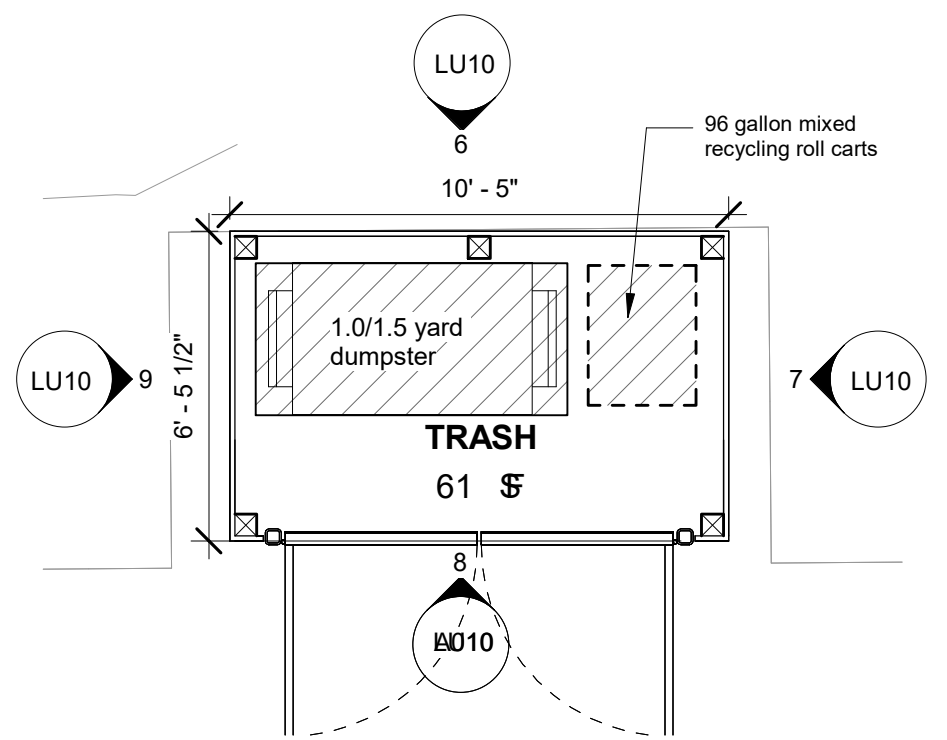
3 EXTERIOR -FRONT SOUTH ELEVATION
1/8" = 1'-0"



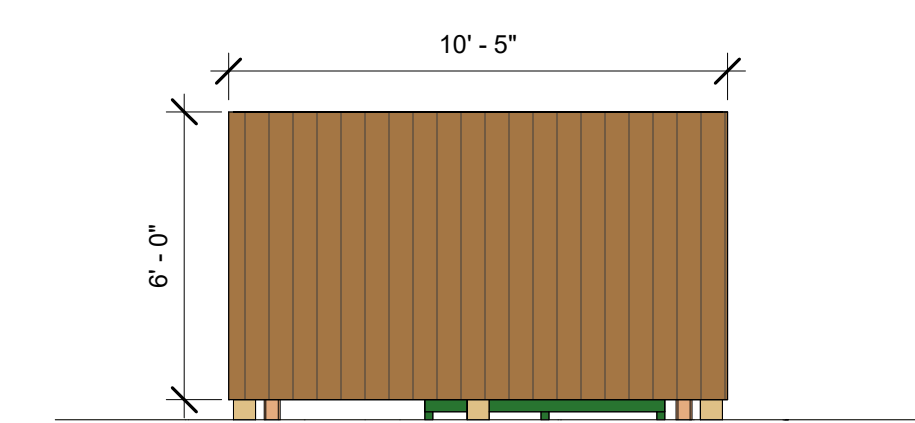
4 EXTERIOR -SIDE WEST ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

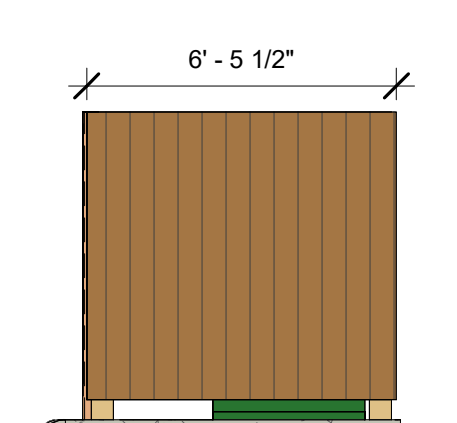
	FIBER CEMENT LAP SIDING; GRAY; SMALL SCALE; HORIZONTAL		FIBER CEMENT LAP SIDING; WOOD TONE; LARGE SCALE; VERTICAL		BELT TRIM; DARK GRAY
	FIBER CEMENT SHAKE SIDING; GRAY		ROOF - ASPHALT COMPOSITE MATERIAL ; GRAY		ROOF FASCIA BOARD; WHITE



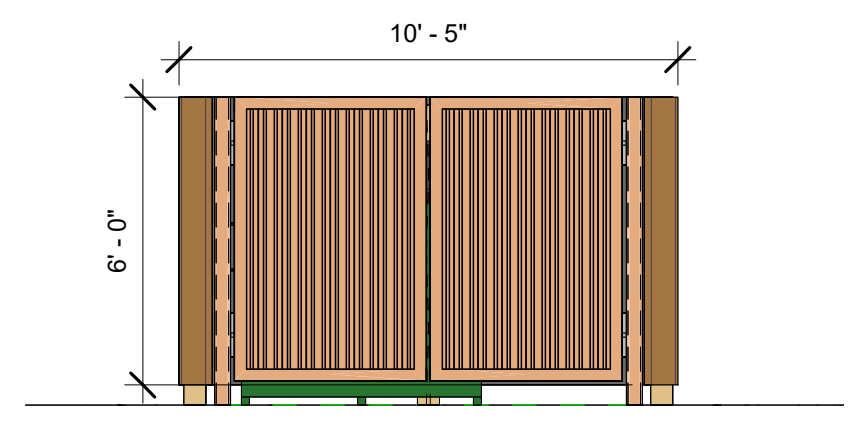
5 TRASH ENCLOSURE
1/4" = 1'-0"



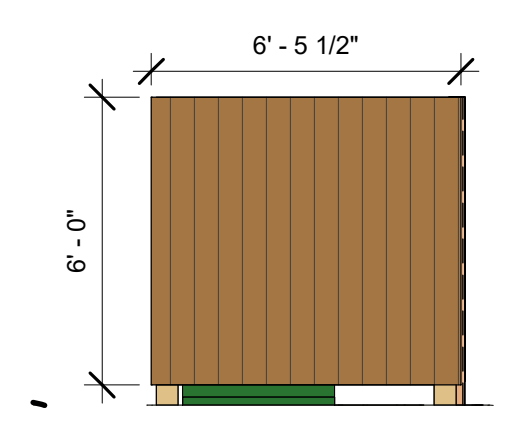
6 EXTERIOR ELEVATION - TRASH ENCLOSURE NORTH
1/4" = 1'-0"



7 EXTERIOR ELEVATION - TRASH ENCLOSURE EAST
1/4" = 1'-0"



8 EXTERIOR ELEVATION - TRASH ENCLOSURE SOUTH
1/4" = 1'-0"



9 EXTERIOR ELEVATION - TRASH ENCLOSURE WEST
1/4" = 1'-0"

07-11-02-BA-11700-00

07-11-02-BA-11800-00

07-11-02-BA-11900-00

GARDEN ESTATES
17-45

07-11-02-BA-12000-00

07-11-02-BA-12100-00

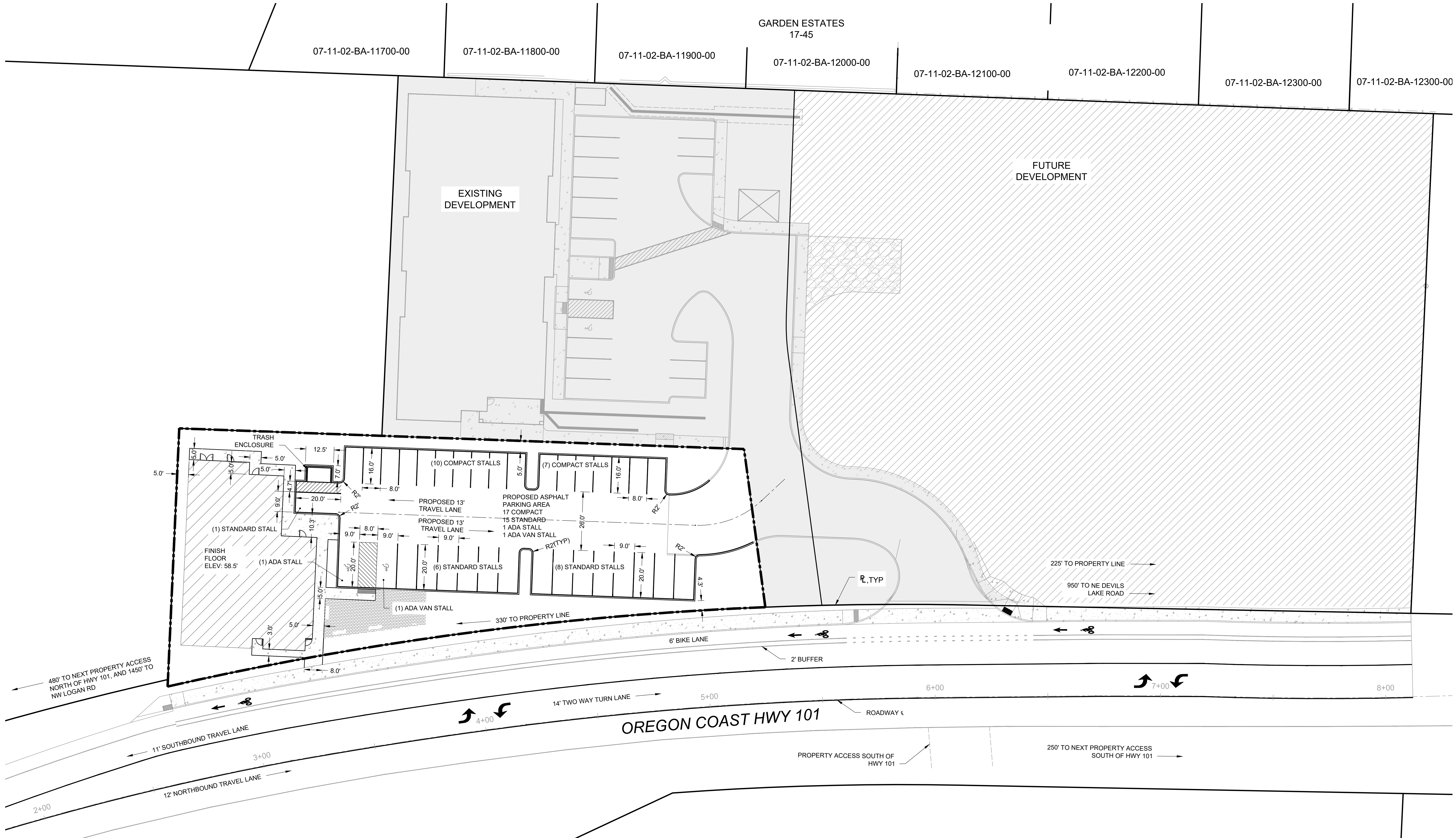
07-11-02-BA-12200-00

07-11-02-BA-12300-00

07-11-02-BA-12300-00

EXISTING
DEVELOPMENT

FUTURE
DEVELOPMENT



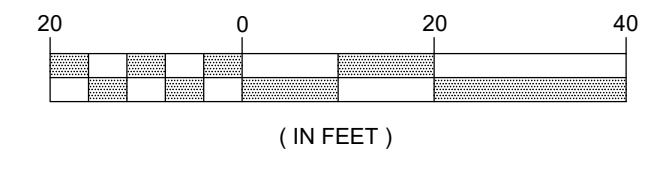
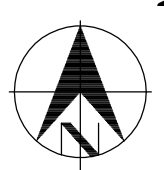
480' TO NEXT PROPERTY ACCESS
NORTH OF HWY 101, AND 1450' TO
NW LOGAN RD

225' TO PROPERTY LINE
950' TO NE DEVILS
LAKE ROAD

330' TO PROPERTY LINE
14' TWO WAY TURN LANE

PROPERTY ACCESS SOUTH OF
HWY 101

250' TO NEXT PROPERTY ACCESS
SOUTH OF HWY 101









NOTES:

1. NO EXISTING STRUCTURES TO REMAIN
2. DISTANCES TO PROPERTY LINES, NEARBY ACCESS POINTS AND INTERSECTIONS ARE RELATIVE TO CENTERLINE PROPOSED SITE ACCESS.
3. DISTANCES TO NEARBY ACCESS POINTS AND INTERSECTIONS TAKEN FROM GOOGLE EARTH AND ARE APPROXIMATE.





LEGEND

EXISTING

-  STORM DRAIN MANHOLE
-  CATCH BASIN
-  CURB INLET
-  PROPERTY BOUNDARY
-  MAJOR CONTOUR
-  MINOR CONTOUR

LEGEND

PROPOSED

-  STORM DRAIN MANHOLE
-  CATCH BASIN
-  MAJOR CONTOUR
-  MINOR CONTOUR



LEGEND

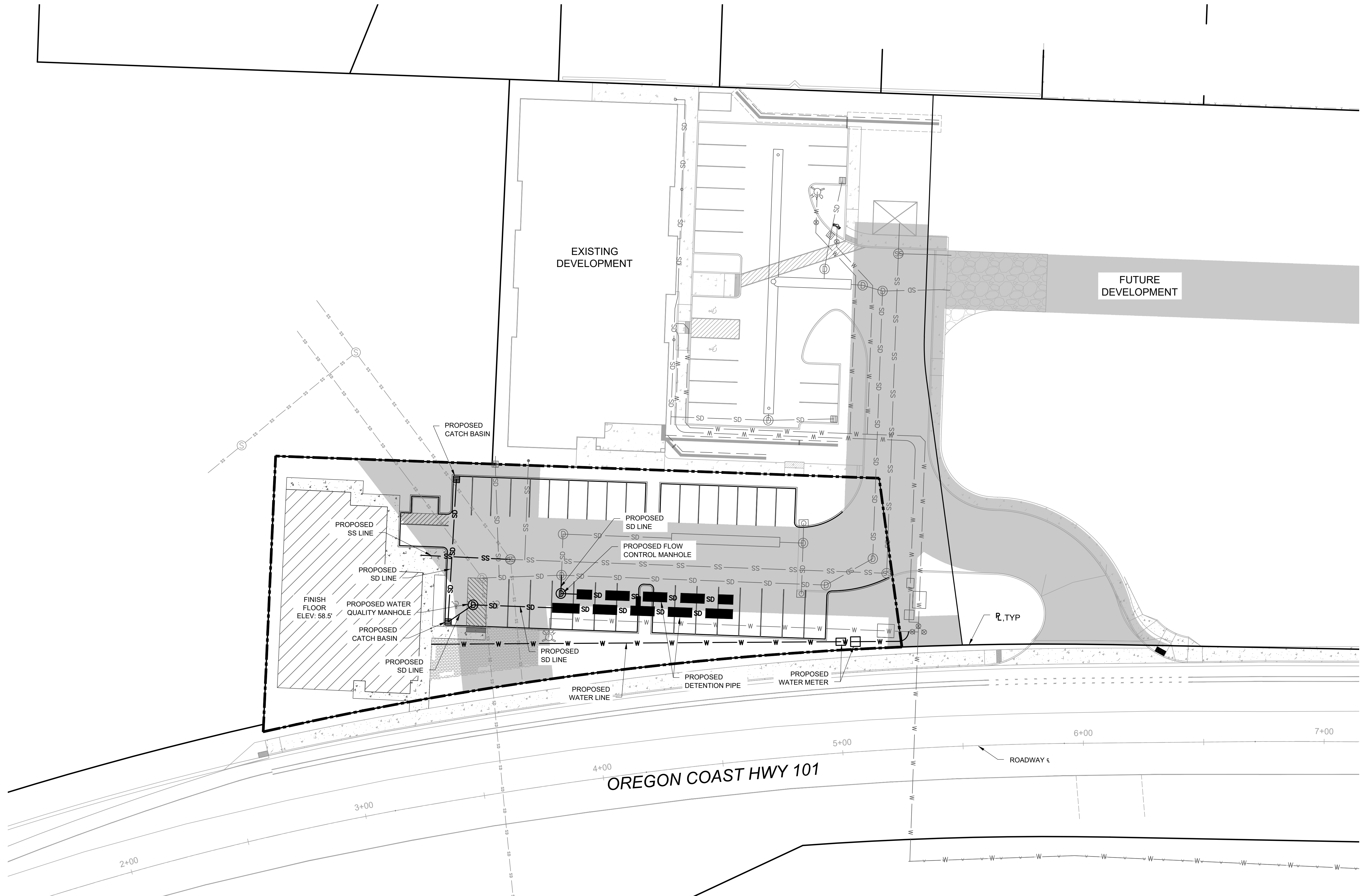
EXISTING

- PROPERTY BOUNDARY
- ⊙ STORM DRAIN MANHOLE
- SD — STORM DRAIN LINE
- ▭ CATCH BASIN
- ⊕ CURB INLET
- STORM DETENTION PIPE
- SS — SANITARY SEWER LINE
- ⊙ SANITARY MANHOLE
- ⊙ CLEANOUT
- W — WATER LINE
- WATER METER / VAULT
- ⊕ FIRE HYDRANT

LEGEND

PROPOSED




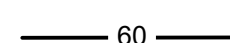
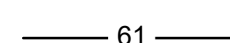




- ⊙ STORM DRAIN MANHOLE
- SD — STORM DRAIN LINE
- ▭ CATCH BASIN
- SD ■ STORM DETENTION PIPE
- SS — SANITARY SEWER LINE
- ⊙ SANITARY MANHOLE
- ⊙ CLEANOUT
- W — WATER LINE
- WATER METER

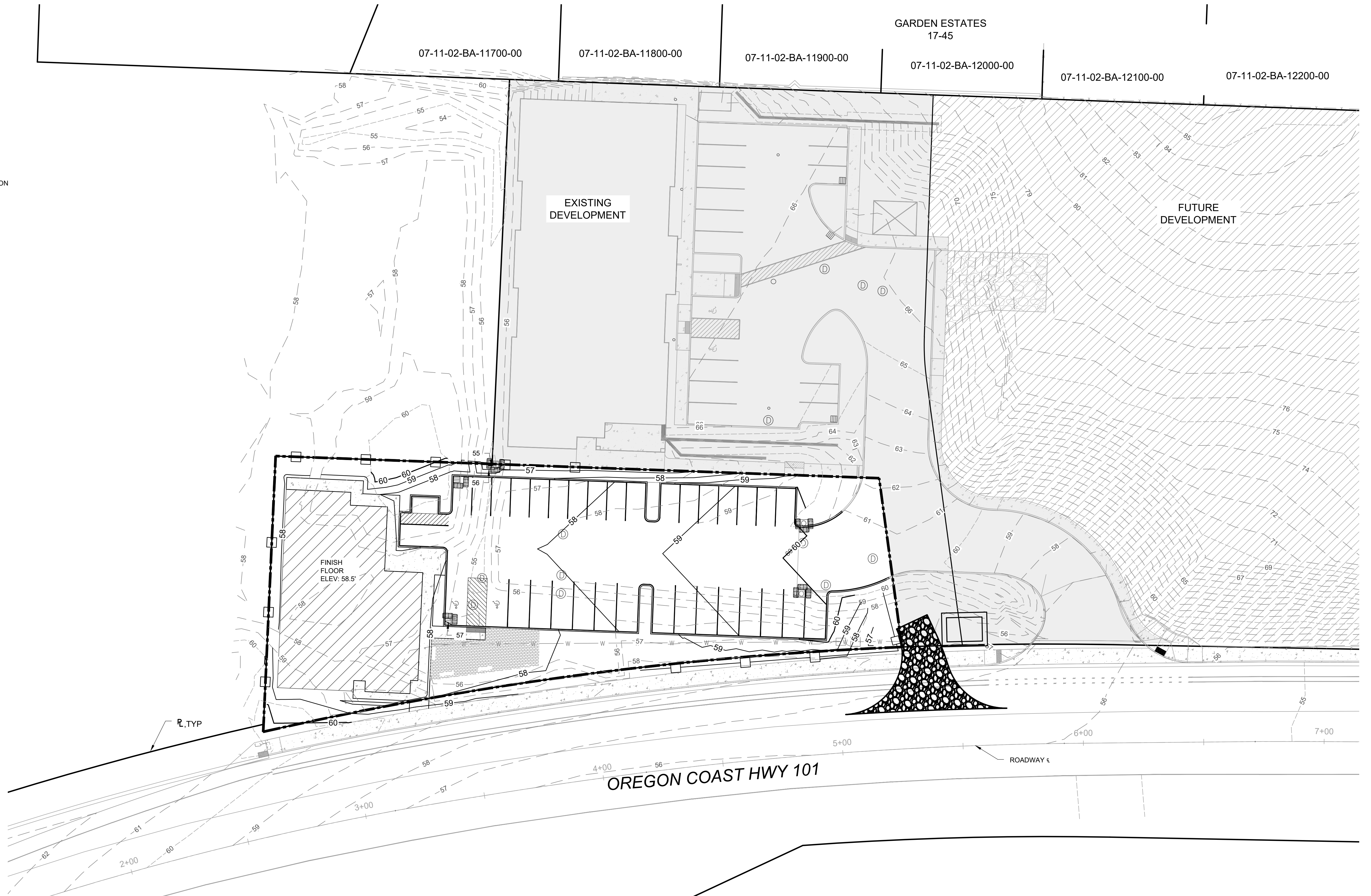


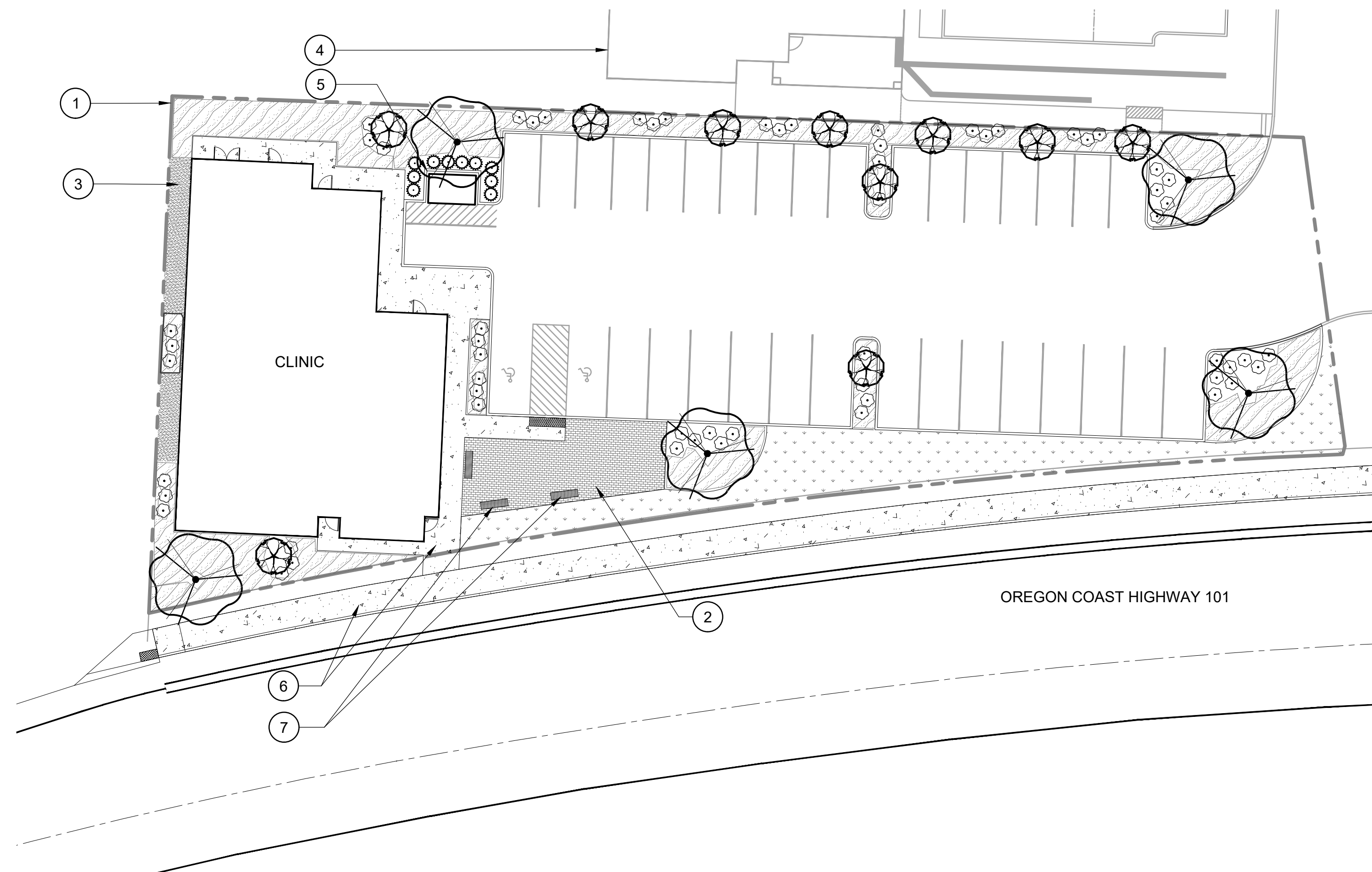
GENERAL NOTES:

1. ALL SHADED AREAS TO BE RECORDED UTILITY EASEMENTS.
2. DETENTION PIPING WILL BE SIZED TO NOT EXCEED PRE-DEVELOPMENT CONDITIONS FOR THE 2, 10, 25-YEAR STORM EVENTS.
3. WATER QUALITY SHALL BE DESIGNED ACCORDING TO 50% OF THE 2-YEAR, 24 HOUR EVENT OR USING THE SIMPLIFIED SIZING PERCENTAGES PROVIDED WITHIN LINCOLN CITY'S STORMWATER BMPs.
4. IN ALL ZONES, ALL ELECTRICAL, TELEPHONE AND CABLE TELEVISION UTILITY SERVICE INSTALLATIONS OR CONNECTIONS SHALL BE PLACED UNDERGROUND IN ACCORDANCE WITH CITY STANDARDS. A PRIVATE UTILITY EASEMENT WITH A MINIMUM WIDTH OF 5-FOOT WILL BE PROVIDED THROUGHOUT THE SITE AS REQUIRED BY PRIVATE UTILITY PROVIDERS.

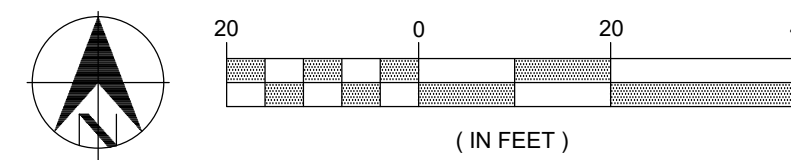
LEGEND

-  PROPERTY BOUNDARY
-  60 EXISTING MAJOR CONTOUR
-  61 EXISTING MINOR CONTOUR
-  60 PROPOSED MAJOR CONTOUR
-  61 PROPOSED MINOR CONTOUR
-  SILT FENCE
-  CONSTRUCTION ENTRANCE
-  CATCH BASIN BARRIER PROTECTION
-  CONCRETE WASHOUT





1 LANDSCAPE PLAN
1" = 20'-0"



REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	
1	PROPERTY LINE	---
2	PRE-CAST PAVERS	
3	WOOD CHIP MULCH	
4	ADJACENT PROPERTY	
5	GARBAGE ENCLOSURE	
6	CONCRETE SIDEWALK	
7	BENCH	

LANDSCAPE CODE COMPLIANCE:

LOT PERIMETER (LINEAR FEET): 703
LOT AREA (SQUARE FEET): 22,604

TOTAL NUMBER OF TREES REQUIRED: 8
TOTAL NUMBER OF TREES PROPOSED: 15

TOTAL NUMBER OF SHRUBS REQUIRED: 24
TOTAL NUMBER OF SHRUBS PROPOSED: 70

PLANTINGS WILL BE NATIVE TO THE PACIFIC NORTHWEST, SELECTED FROM LINCOLN CITY'S GUIDE TO LANDSCAPE SELECTIONS, AND/OR CERTIFIED BY WRITTEN AND SIGNED STATEMENT FROM OREGON LICENSED LANDSCAPE ARCHITECT AS SUITABLE FOR THE SITE CONDITIONS.

IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTED AREAS FOR A PERIOD OF AT LEAST TWO YEARS, OR UNTIL IT IS DEMONSTRATED THAT NEW PLANTS HAVE BECOME NATURALIZED.

CONCEPT PLANT SCHEDULE

	QTY	SIZE	CONTAINER
MEDIUM TREE PACIFIC DOGWOOD OR SIMILAR	5	3" CAL.	B&B
SMALL TREE VINE MAPLE OR SIMILAR	10	1" CAL.	POT / B&B
SMALL UPRIGHT CONIFER DWARF ARBORVITAE (OR SIMILAR)	10	4' HT.	POT / B&B
SMALL NATIVE SHRUB LOW OREGON GRAPE (OR SIMILAR)	60	1 GAL.	POT
LOW NATIVE SHRUB MIX SWORD FERN KINNIKINNICK 24" OC	2,670 SF	1 GAL.	POT
TURF GRASS HYDROSEED - PERENNIAL RYGRASS BLEND	1,721 SF		